

Buford City Commission

October 1, 2018

The regular monthly meeting was held on October 1, 2018 and all Commission members were present.

Chairman Beard called the meeting to order at 7:00 p.m. and Mr. Burge led the Pledge of Allegiance.

Motion by Mr. Weeks, seconded by Mr. Burge to approve the agenda for the September 4, 2018 Commission meeting as presented with the addition to surplus property at 9 New Street.

Ayes 3
Nays 0

Motion by Mr. Burge, seconded by Mr. Weeks to adopt the minutes from the September 4, 2018 meeting as presented by staff.

Ayes 3
Nays 0

Chairman Beard recognized Clyde Black for his twenty (20) years of service with the City of Buford.

Motion by Mr. Burge, seconded by Mr. Weeks to surplus house/buildings located at 9 New Street and authorize the City Manager to advertise for bids.

Ayes 3
Nays 0

Chairman Beard stated that this portion of the meeting would be set aside for public hearings.

Rezoning:

#Z-18-08: Gary Brown requests rezoning for the property located at 2715 Brown Road, parcel 7-143-057 from RA-200 to C-2. Les Johnson spoke on behalf of the applicant. The City requests more information on the proposed use for the property. Motion by Mr. Burge, seconded by Mr. Beard to table the request. Mr. Weeks abstained.

Ayes 2
Nays 0
Abstain 1



#Z-18-09: Archon Homes requests rezoning for the property located on Wade Orr Road, being parcel 08-138-002014, from C-2 to R-100. Mitch Peevy spoke on behalf of the applicant. No one spoke against the request. Motion by Mr. Weeks, seconded by Mr. Burge to approve the request with the following conditions:

1. Parcel 08-138-002014 shall be rezoned from C-2 to R-100 for single family homes and accessory uses. The approval of this application is not approval of non-conformities shown on the site plan provided with the rezoning case.
2. The maximum number of lots shall not exceed eight (8) and each lot shall meet or exceed the minimum width and area of the R-100 zoning category.
3. All front and rear yards shall be sodded and shall have (1) 3-inch caliper canopy tree planted in the front yard.
4. Exceeding five (5) lots shall require submittal and review of construction documents that are in conformance with all improvements required by the City of Buford's Development Regulations.
5. All homes shall have three car garages and a minimum gross heated floor area of 3400 square feet exclusive of garages or basements.
6. Architectural treatments of the homes are to be four (4) sides brick or stone with accents not to exceed 60% on the front elevation and accents not to exceed 40% on the side and rear elevations. Accents shall include brick, stone, rock, stucco, cedar shakes, fiber cement siding and hardiplank. Architectural elevation designs to be approved by the Planning Director.
7. Developer shall comply with the City of Buford Sewer Use Ordinance.
8. The developer shall provide a landscape screening of evergreen trees on the back property line to screen the adjacent residential properties. The landscape plan shall be approved by the Planning Director.

Ayes 3

Nays 0

Special Use Permit:

#SUP-18-16: Wilson Development Group requests a special use permit for the property located at 4803 Golden Parkway, being parcel 08-157-000031. The special use permit requested is to allow a drive through window for Dunkin' Donut. Mitch Peevy was present on behalf of the applicant. No one spoke against the request. Motion by Mr. Burge, seconded by Mr. Weeks to approve the request with the following conditions:

1. Parking requirements shall be reduced from 27 spaces to 12 spaces with a parking access agreement with the owner of the adjacent convenience store. The applicant shall provide the Planning Director a copy of the agreement prior to the approval of any subsequent permits.
2. Architectural treatments and landscaping shall meet the minimal standards of the City of Buford Zoning Ordinance Section 1316, including the requirements for a flat roof for buildings under 5000 square feet and shall allow the corporate color orange as accents. Final landscape plan and architectural elevations shall be approved by the Planning Director.



3. The encroachment into the 50-foot front building setback line adjacent to Lanier Islands Parkway shall not exceed 20 feet. The final placement of the building shall be approved by the Planning Director.
4. The required landscape strips shall be reduced from 10-foot to 5-foot excluding the area adjacent to Lanier Islands Parkway. The applicant shall provide a final landscape plan for the review and approval of the Planning Director that meets the tree density requirements as a 10-foot landscape strip.
5. The rear building setback line shall be reduced from 15 feet to 9 feet.
6. The side building setback line shall be reduced from 20 feet to 15 feet.
7. The applicant shall provide a signage concept plan for the review and approval by the Planning Director. Additional ground signage shall not be placed in a manner that adds to the clutter at the intersection.

Ayes 3

Nays 0

Chairman Beard stated that this concludes the public hearing portion of the meeting.

Motion by Mr. Weeks, seconded by Mr. Burge to approve the exemption plat on 410 Thunder Road for Jason Jackson adding one (1) lot from August 2018 approving four (4) lots with the following conditions:

1. All one-story homes shall have a minimum gross heated floor area of 2800 square feet, which shall exclude the basement, both finished and unfinished. All two story homes shall have a minimum gross heated floor area of 3200 square feet, which shall exclude the basement, both finished and unfinished. All homes shall have a 3-car garage.
2. Front elevations shall be constructed with a minimum of 40% brick or stone with 60% accents. Accents shall include brick, stucco, rock, shakes, hardiplank and concrete siding. A 42" water table shall be provided on the sides and rear. Elevations shall be provided to the City for review and approval by the Planning Director prior to the approval of a building permit.
3. A five (5) foot sidewalk with a two (2) foot landscape strip with curb and gutter shall be provided along the entire property frontage.
4. Each dwelling's driveway shall be a minimum of 18 feet wide.
5. Each lot shall be required to have two (2) shade trees installed with the front yard.
6. Each lot shall be sodded front yards.
7. Developer shall install sewer service to all lots and dedicate to City.

Ayes 3

Nays 0

Motion by Mr. Burge, seconded by Mr. Weeks to approve the exemption plat on Lawson Street for Zachary Hutchins with the following conditions:

1. The minimum heated floor area shall be 1800 square feet excluding garage or basement.
2. The front elevation shall be 40% brick with 60% accents. Accents shall be brick, stucco, rock, concrete siding or hardiplank.

Ayes 3
Nays 0

Motion by Mr. Burge, seconded by Mr. Weeks to approve the exemption plat on South Garnett Street for Ricky Patterson.

Ayes 3
Nays 0

Motion by Mr. Weeks, seconded by Mr. Burge to authorize City Manager to participate in membership of Georgia Pipeline Emergency Response Initiative as part of City's requirement for firefighters liaison with emergency responders.

Ayes 3
Nays 0

Motion by Mr. Burge, seconded by Mr. Weeks to approve payment #1 for 2014 City/Gwinnett County SPLOST joint project – widening of SR20 from South Lee Street to Buford Highway.

Ayes 3
Nays 0

Motion by Mr. Weeks, seconded by Mr. Burge to authorize Chairman to sign, on behalf of the City, Intergovernmental Agreement with Hall County for participation in Hall County E-911 Emergency Communication Center.

Ayes 3
Nays 0

Motion by Mr. Burge, seconded by Mr. Weeks to approve extension for hardship request for one year for Faith Free Full Gospel Church to allow one modular trailer for children's classroom use at 539 Washington Street.

Ayes 3
Nays 0

Motion by Mr. Burge, seconded by Mr. Weeks to approve wastewater allocation appeal by Gwinnett Swim for an additional 400 gallons per day.

Ayes 3
Nays 0

Motion by Mr. Weeks, seconded by Mr. Burge to approve wastewater allocation appeal by Jason Jackson for 410 Thunder Road development.

Ayes 3
Nays 0

Motion by Mr. Burge, seconded by Mr. Weeks to authorize payment #2 for streetscape improvements at the corner of South Lee Street and West Moreno Street in the amount of \$47,157.78.

Ayes 3
Nays 0

Motion by Mr. Weeks, seconded by Mr. Burge to authorize payment #2 for SR13/Heraeus Boulevard signal installation and intersection improvements in the amount of \$16,200.36.

Ayes 3
Nays 0

Mr. Kerlin gave the City Manager's Report.

Mr. Jay gave the City Attorney's report.

After a brief discussion with the audience, motion by Mr. Burge, seconded by Mr. Weeks to adjourn.

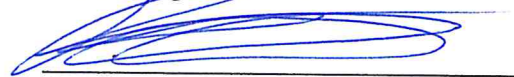
Ayes 3
Nays 0



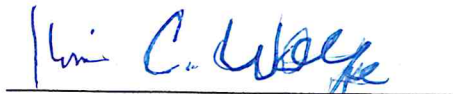
Phillip Beard, Chairman



Chris Burge, Vice-Chairman



Bradley W. Weeks, Commissioner



City Clerk

10-1-18
Date